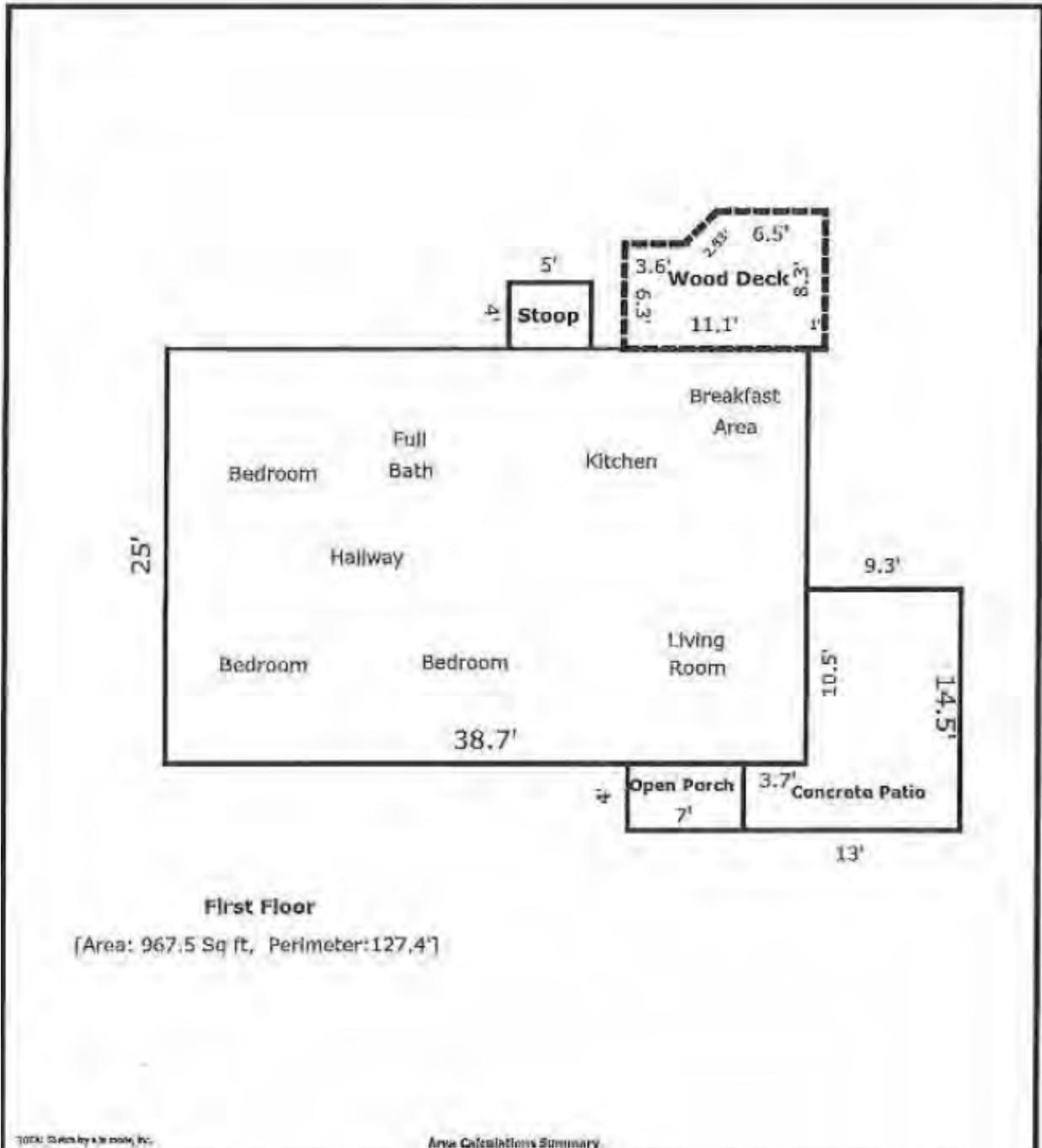


63 DOWNING STREET



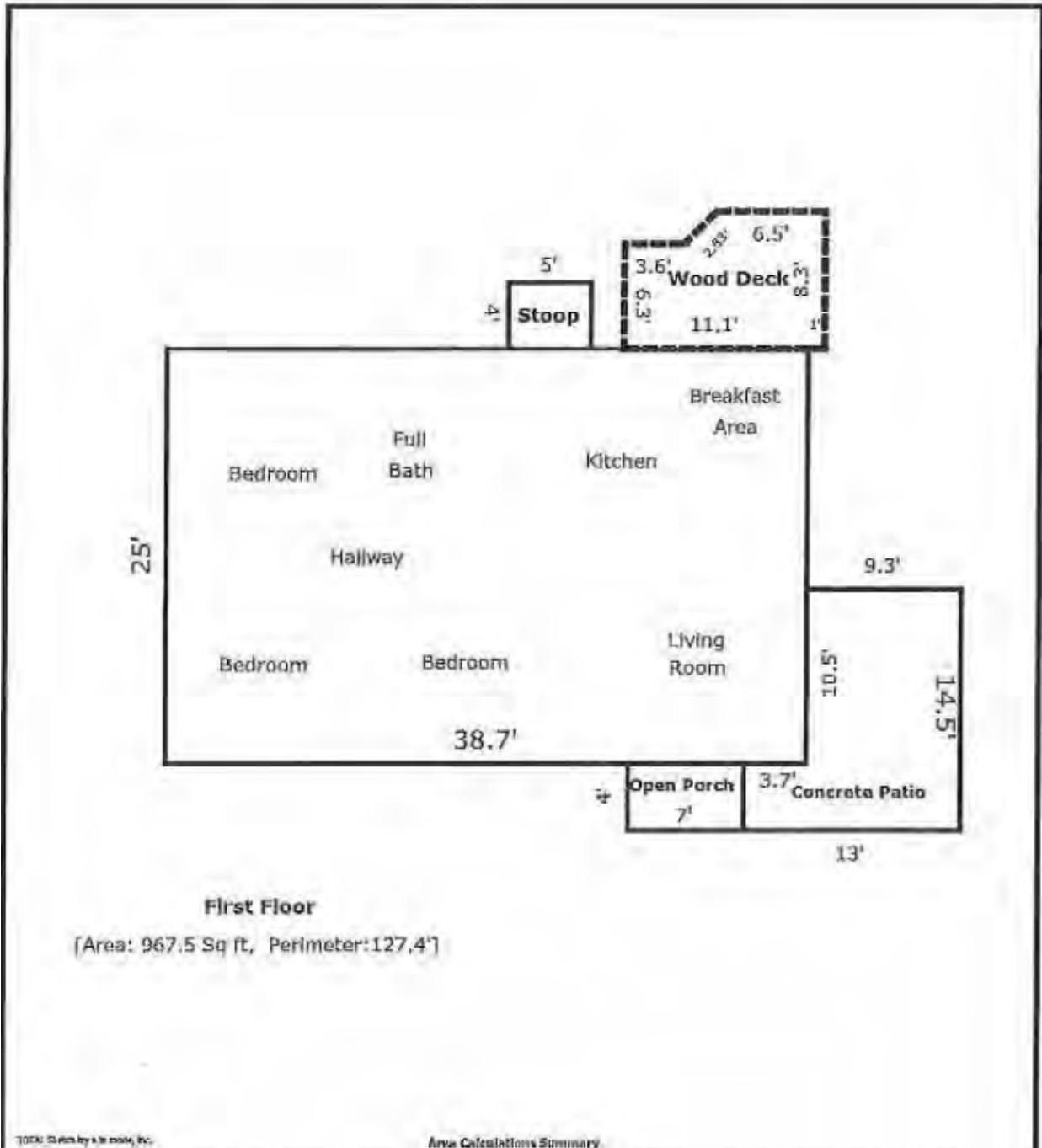
First Floor
 (Area: 967.5 Sq ft, Perimeter: 127.4')

©2021 Survey by A. J. Cook, Inc.

Area Calculations Summary

	Area Calculations Summary	Calculation Details
Living Area First Floor	967.5 Sq ft	$25 \times 38.7 = 967.5$
Total Living Area (Rounded):	968 Sq ft	
Non-Living Area	149.65 Sq ft	$4 \times 3.7 = 14.8$ $9.3 \times 14.5 = 134.85$
Stoop	20 Sq ft	$5 \times 4 = 20$
Wood Deck	91.23 Sq ft	$6.3 \times 6.5 = 53.95$ $5.6 \times 6.3 = 35.28$ $0.5 \times 2 \times 2 = 2$
Open Porch	28 Sq ft	$4 \times 7 = 28$

87 DOWNING STREET



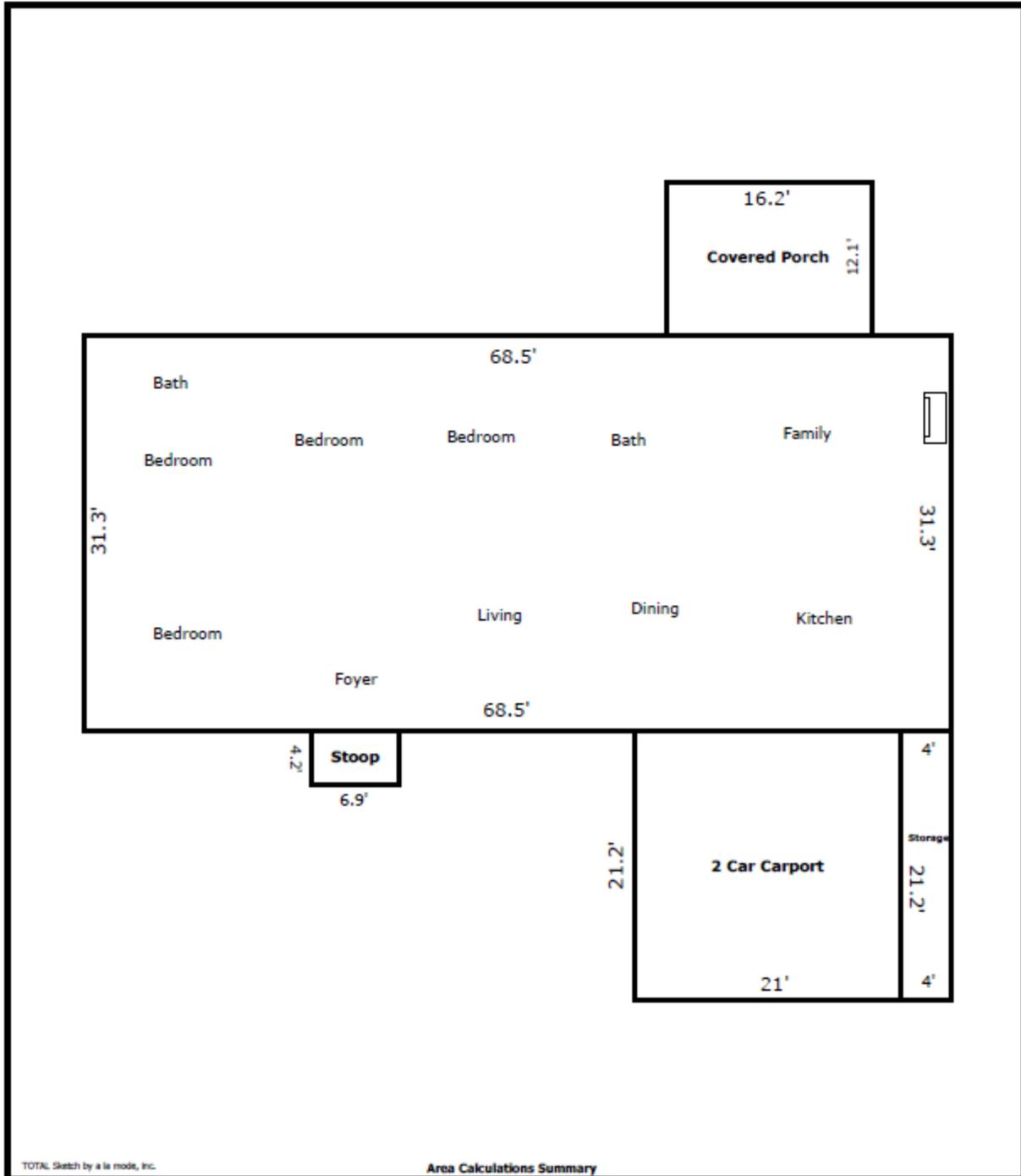
First Floor
 (Area: 967.5 Sq ft, Perimeter: 127.4')

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Area Calculations Summary

	Area Calculations Summary	Calculation Details
Living Area First Floor	967.5 Sq ft	$25 \times 38.7 = 967.5$
Total Living Area (Rounded):	968 Sq ft	
Non-living Area	149.65 Sq ft	$4 \times 3.7 = 14.8$
Concrete Patio		$9.3 \times 14.5 = 134.85$
Stoop	20 Sq ft	$5 \times 4 = 20$
Wood Deck	91.23 Sq ft	$6.3 \times 6.5 = 40.95$
		$5.6 \times 6.3 = 35.28$
		$0.5 \times 2 \times 2 = 2$
Open Porch	28 Sq ft	$4 \times 7 = 28$

824 BURWELL LANE



TOTAL Sketch by a la mode, inc.

Area Calculations Summary

Living Area		Calculation Details	
First Floor	2144.05 Sq ft		$31.3 \times 68.5 = 2144.05$
Total Living Area (Rounded):	2144 Sq ft		
Non-living Area			
2 Car Carport	445.2 Sq ft	$21.2 \times 21 =$	445.2
Storage	84.8 Sq ft	$4 \times 21.2 =$	84.8
Stoop	28.98 Sq ft	$6.9 \times 4.2 =$	28.98
Covered Porch	196.02 Sq ft	$16.2 \times 12.1 =$	196.02



First Floor

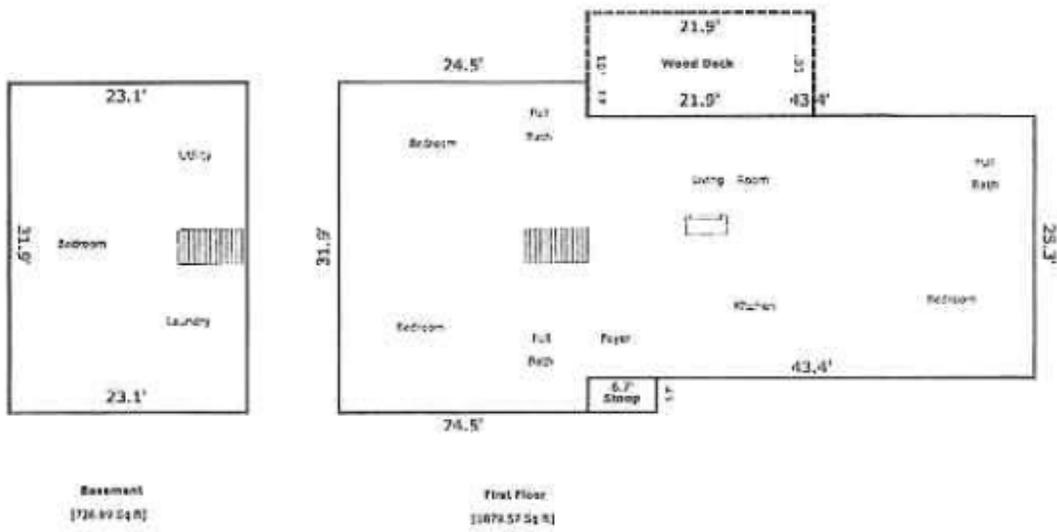
[Area: 2820.41 Sq Ft, Perimeter: 277.8']

10/20/2020 Drawn by: A. Hernandez, Inc.

Area Calculations Summary

Living Area	Area Calculations Summary	Calculation Details
First Floor	2820.41 Sq Ft	$20 \times 21.5 = 430$ $28.6 \times 35.1 = 1003.86$ $21.6 \times 16 = 345.6$ $31.9 \times 27.7 = 883.63$ $27.6 \times 5.7 = 157.32$
Total Living Area (Rounded):	2820 Sq Ft	
Non-living Area		
Open Porch	29.79 Sq Ft	$4.3 \times 5.7 = 24.51$ $3.3 \times 1.6 = 5.28$
Workshop	307.4 Sq Ft	$21.6 \times 14 = 302.4$
Br Patio	158 Sq Ft	$30 \times 5.6 = 158$
Storage	170 Sq Ft	$20 \times 8.5 = 170$

1226 GLENHAVEN DRIVE

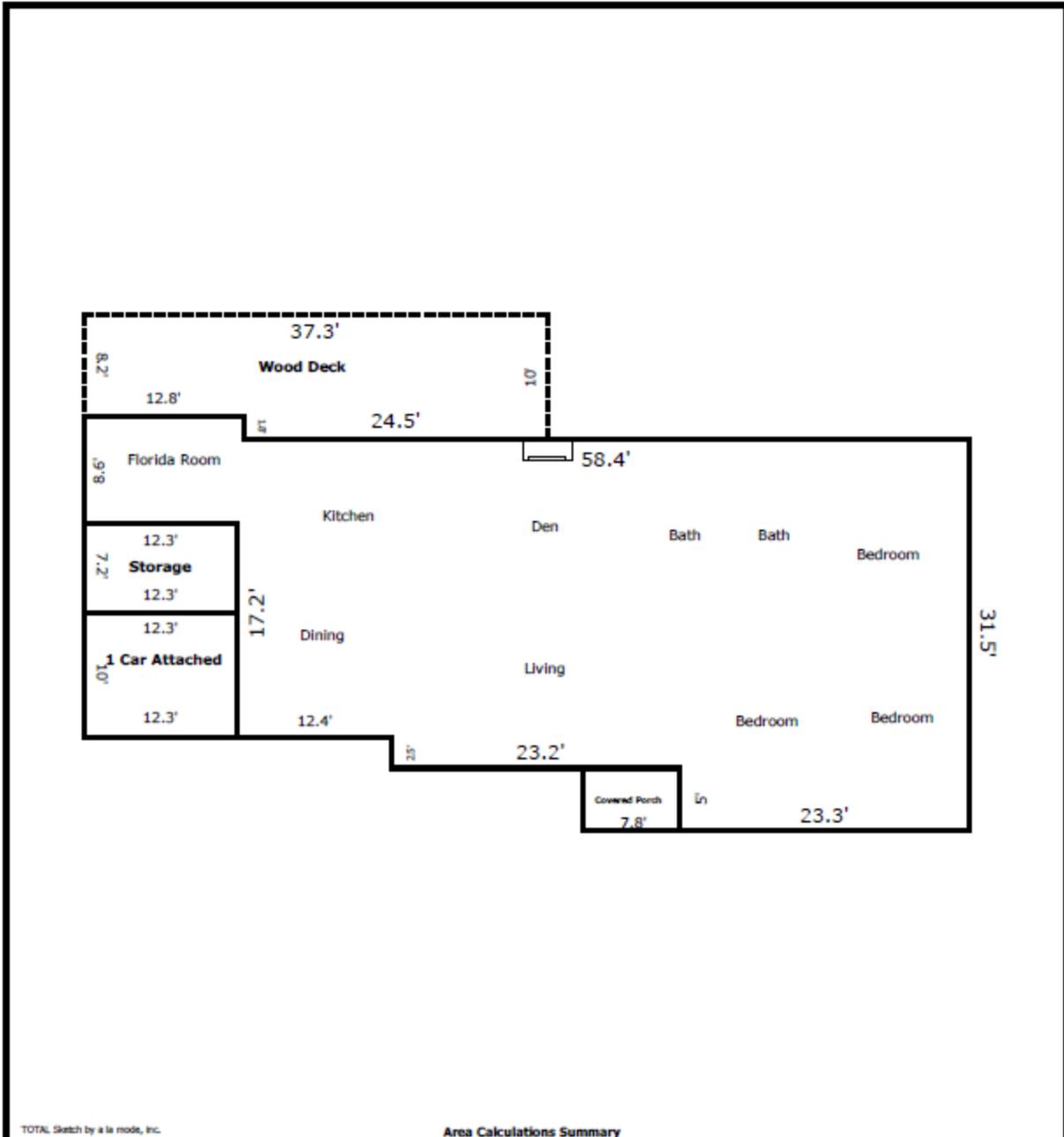


207AL, South by a & mode, Inc.

Area Calculations Summary

Living Area		Calculation Details
First Floor	1879.57 Sq Ft	$25.3 \times 43.4 = 1098.02$ $74.5 \times 31.9 = 2381.55$
Total Living Area (Rounded):	1880 Sq Ft	
Non-living Area		
Wood Deck	219 Sq Ft	$21.9 \times 10 = 219$
Stoop	22.11 Sq Ft	$3.3 \times 6.7 = 22.11$
Basement	736.89 Sq Ft	$31.9 \times 23.1 = 736.89$

1238 GLENHAVEN DRIVE



TOTAL Sketch by a la mode, Inc.

Area Calculations Summary

Living Area		Calculation Details
First Floor	1753.03 Sq ft	$31.5 \times 23.3 = 733.95$ $26.5 \times 23.2 = 614.8$ $12.4 \times 17.2 = 213.28$ $8.6 \times 12.8 = 110.08$ $6.8 \times 11.9 = 80.92$
Total Living Area (Rounded):	1753 Sq ft	
Non-living Area		
Wood Deck	349.96 Sq ft	$8.2 \times 12.8 = 104.96$ $24.5 \times 10 = 245$
Storage	88.56 Sq ft	$12.3 \times 7.2 = 88.56$
1 Car Attached	123 Sq ft	$12.3 \times 10 = 123$
Covered Porch	39 Sq ft	$7.8 \times 5 = 39$

FIELD INSPECTION REPORT

63 DOWNING STREET



Figure 1 63 Downing Street

Landmark performed a field inspection of the 63 property with the ALTA survey information. The inspection was to identify possible issues associated with future plans to demolish the property. The following are specific notes and photographs.

Notes:

Trees – 1 A small Dogwood is adjacent to the driveway and overhangs the driveway. A determination on the removal of the trees can be made during construction and is minimal cost for removal.

Other large tree are present in the front and back yard but do not hinder the demolition effort.

FIELD INSPECTION REPORT

63 DOWNING STREET



Figure 2 - East Property Fencing

Boundaries - The eastern property line has a 4-foot chain link fence that appears to be on the adjacent property. There were no stakes to determine actual boundaries at the property.

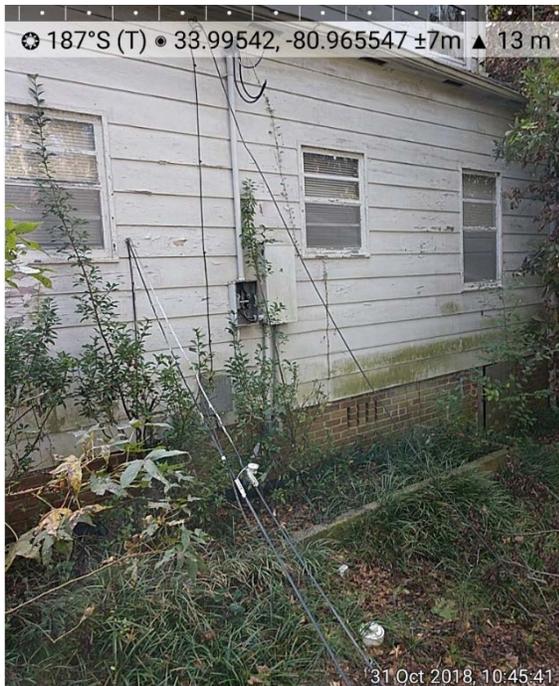


Figure 3 Utility Status and Position Photographs

Drainage - Removal of the structure will require grading to minimize erosion concerns.

Sewer - The survey did not identify the sewer cleanout on the south side of house. City Sewer or septic was not determined.

Power - The power is disconnected from the house and meter removed

FIELD INSPECTION REPORT

63 DOWNING STREET

Water - City water meter located on the front of the property and was marked on the survey.

Gas - Disconnect and meter removed.



Figure 4 - HVAC and HWH West Side of House

HVAC - Ac only

Driveway - Asphalt

Hot Water Heater - Located outside on west side of house.

Survey Pins - Not Located or visible

FIELD INSPECTION REPORT

87 DOWNING STREET

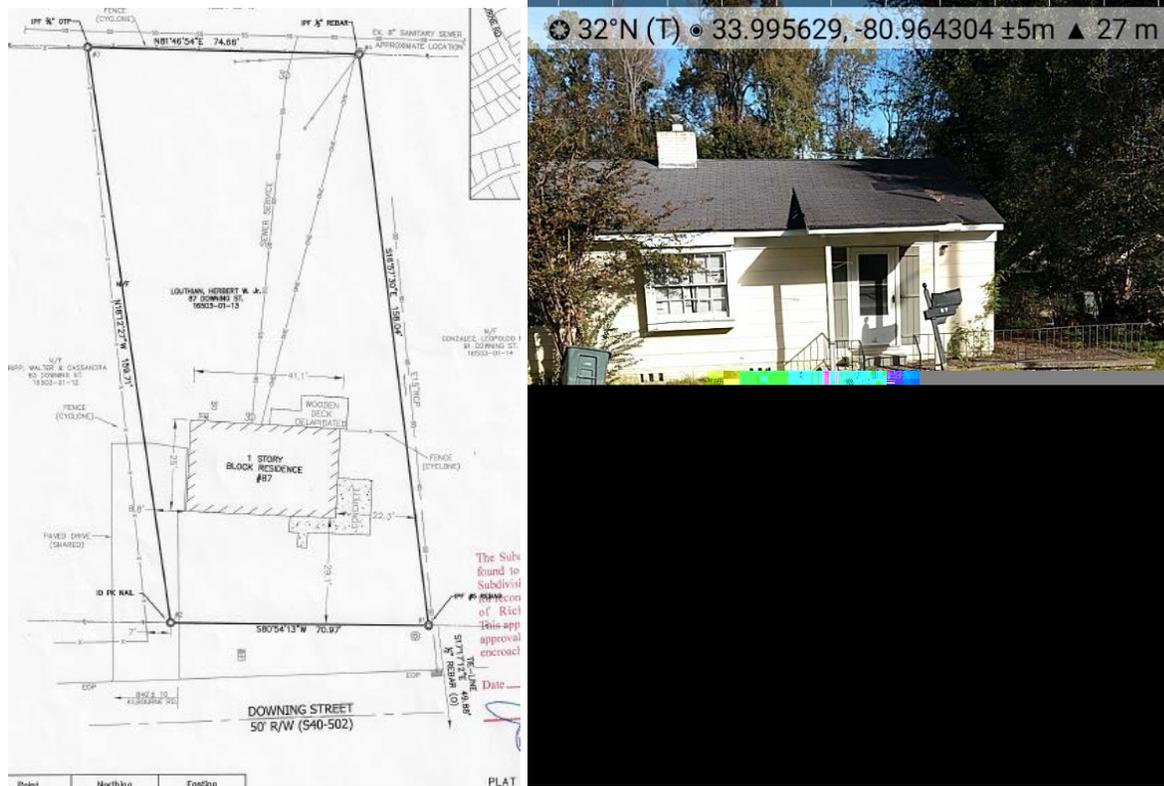


Figure 1 87 Downing Street

Landmark performed a field inspection of the 87 property with the ALTA survey information. The inspection was to identify possible issues associated with future plans to demolish the property. The following are specific notes and photographs.

Notes:

Trees 1– A large Pine has fallen in the backyard a dislocated the rear deck from the house

Tree 2 - A large pine that has been topped and limbed is adjacent to the driveway

Driveway - The asphalt driveway is shared by the adjacent property to the west and has a 4-foot chain link fence that is not on the property.

FIELD INSPECTION REPORT

87 DOWNING STREET



Figure 2 -Rear Deck damaged by Pine Tree and Shared Driveway

Boundaries - There is fencing behind the house. The western property line has a 4-foot chain link fence that appears to be on the adjacent property and continues to the northern boundary fence which is 4-foot chain link. The eastern boundary has a 3-foot rabbit wire fence that extends from the north boundary chain link fence up to a 4-foot rabbit wire fence bisecting the east flank of the house. There were no stakes to determine actual boundaries at the property.



Figure 3 - Fencing on Property Boundaries

FIELD INSPECTION REPORT

87 DOWNING STREET



Figure 3 Utility Status and Position Photographs

Drainage - Removal of the structure will require grading to minimize erosion concerns.

Sewer - The survey did not identify the sewer cleanout on the south side of house. City Sewer or septic was not determined.

Power - The power is disconnected from the house and meter removed

Water - City water meter located on the front of the property and was marked on the survey.

Gas - Disconnect and meter removed. HTH located outside the house.

HVAC - AC only

Hot Water Heater - Located outside on west side of house.

Survey Pins - Not located or visible near road, but visible on northern boundary

Environmental - The house has potential Transite siding on the front and both sides of the house. The rear appears to have already been removed



Figure 4 - Transite Siding

FIELD INSPECTION REPORT

824 BURWELL LANE

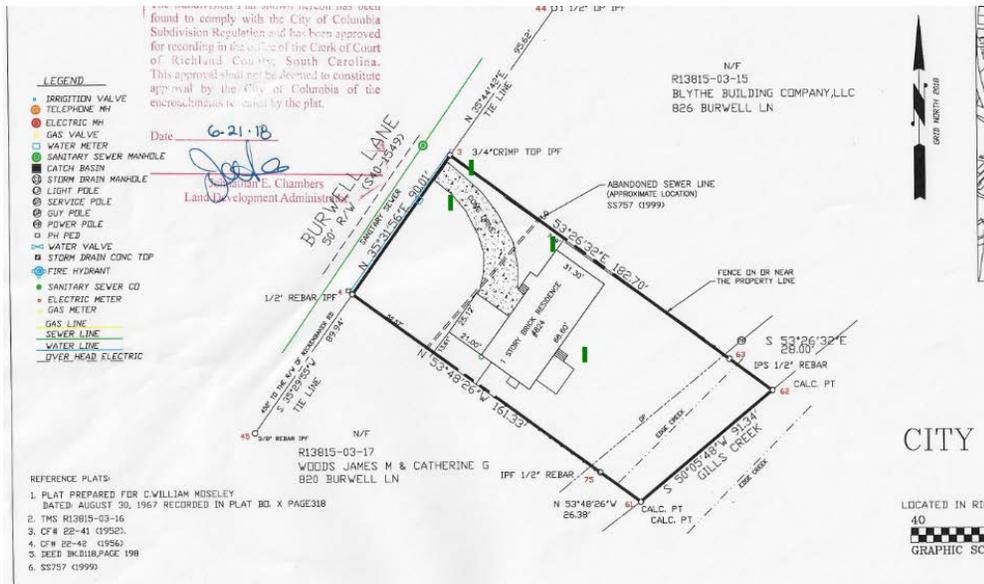


Figure 1 824 Burwell Lane

Landmark performed a field inspection of the 824 property with the ALTA survey information. The inspection was to identify possible issues associated with future plans to demolish the property. The following are specific notes and photographs.

Notes:

Trees – 1 & 2 (below)– Pines (20 to 24-inch dia.) that are located at the entrance of the driveway. Tree 1 is located on the north side of the driveway and 2 is on the south side. The concrete driveway can remain until the house is demolished and followed by removal of the concrete driveway in section without damage to the tree root system.

Tree -3 - Laurel or Magnolia located at the NE corner of the house. It can be removed with the shrubs surrounding the house. Tree 3 is in background of Figure-2, corner of house.

Tree -4 – Crepe Myrtle located beside the deck on the back of the house. It can be remove with the shrubs surrounding the house.

Drainage - The house has a craw space and retaining walls that have altered the natural drainage or runoff of the area. The property will be regrade to ensure that the positive drainage is towards the creek.

FIELD INSPECTION REPORT

824 BURWELL LANE

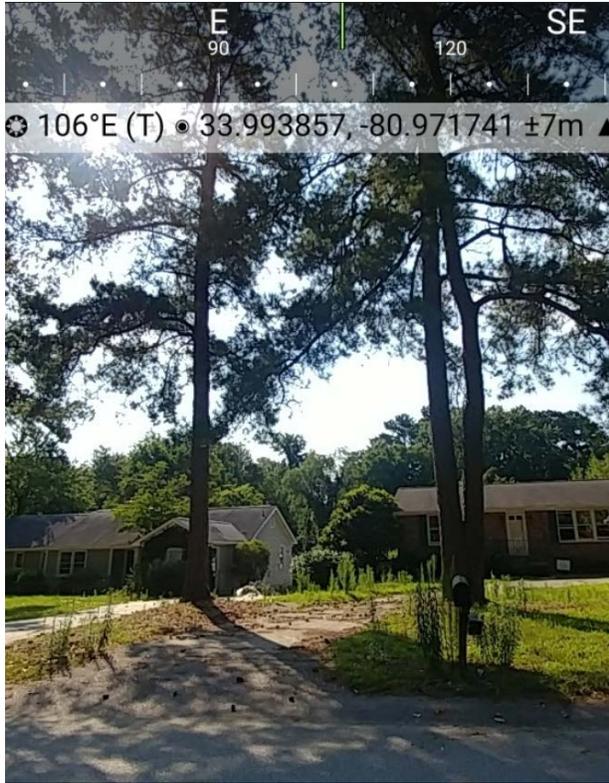


Figure 2 Pine Trees 1 , 2 & 3

Barrier 1 – Along the northern property line, there is a brick retaining wall approximately 3 feet high. The wall starts 30 to 40 feet south of the street and continues SE almost to the back boundary. The wall retains about 3 feet of soil until you are south of the house. The wall has 5 (3 to 4-inch) poly drains discharging rain from the gutters onto the adjacent property. The removal of the house will require material grading to re-establish grade. The fill material, behind the retaining, can be used as fill, once house is removed, and remove the drainage gradient issue on the north side of the house.



Figure 3 Northern Barrier Wall

FIELD INSPECTION REPORT

824 BURWELL LANE

Barrier 2 – Along the southern boundary the 2-foot brick wall is on the adjacent property and will not need to be removed. There is a wall perpendicular located on the south side that is midway the house and is part of a gate system. The wall will need to be cut to remove the barrier at the property line.



Figure 4 Southern Barrier Wall



Figure 5 Gate and Wall south side

Fencing- 4-foot chain link fence surrounds the back yard. The creek front portion will need to be removed and a determination will have to be made for the north and south fences. There were no stakes to determine actual side boundaries at the property. The north side is located on top of the retaining wall.

FIELD INSPECTION REPORT

836 BURWELL LANE



Figure 1 836 Burwell Lane

Landmark performed a field inspection of the 836 property with the ALTA survey information. The inspection was to identify possible issues associated with future plans to demolish the property. The following are specific notes and photographs.

Notes:

Trees – 1 Red Bud located at the north side of the entrance to the property as part of shrub line. A determination on the removal of the trees and shrub line was not possible because there were no mid-point stakes identifying property lines.

Tree -2 – Water Oak- NE corner of the driveway. On adjacent property by best judgement.



FIELD INSPECTION REPORT

836 BURWELL LANE

Tree 3 – Water Oak located in back yard is sufficient distance from house; removed from consideration.
(No pic)

Boundaries - The northern and southern property lines are characterized as a shrub line growing thru the existing chain link fence. There were no stakes to determine actual boundaries at the property.

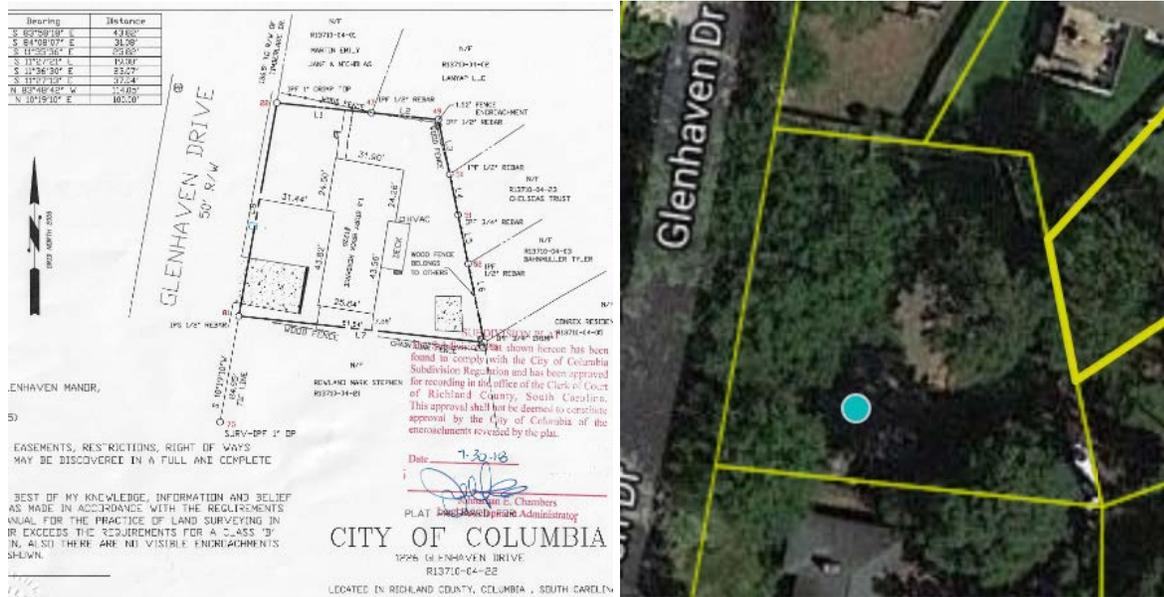
Fencing- 4-foot chain link fence surrounds the back yard. The creek front portion will need to be removed and a determination will have to be made for the north and south fences. A survey pin was placed in the driveway and was marked as “Pin 29” on the attached ribbon and does not look like boundary marker.



Figure 2 Fence and Pin 29 and SE corner of house

FIELD INSPECTION REPORT

1226 Glenhaven Drive



33.97387°N -80.98112°E

Figure 1 1226 Glenhaven Drive

Landmark performed a field inspection (8/2/2018) of the 1226 property with the ALTA survey information. The inspection was to identify possible issues associated with future plans to demolish the structure(s). Specific notes and photographs (above) for identified issues have been provided.

Notes:

Trees – Oak tree identified at the corner of the driveway and adjacent retaining wall could be affected by the removal of the driveway (Figure 2). The tree needs to be evaluated.



Figure 2 - Oak Tree Adjacent to Driveway

Fencing - The backyard of the property has 6-foot wood privacy fencing. The north and east fence sections are ajoined by adjacent property fences. The NE corner connections have encroached on the property and notification to the adjacent property owners will need to be determined. The fence on the south side is not on the property (Figure 3).

FIELD INSPECTION REPORT

1226 Glenhaven Drive



Figure 3 - Potential Encroachment N and E Boundaries

Drainage - The structure is split level and the north end of the house has a 3-foot retaining wall that attaches to the NW corner of the house and extends to the North boundary and turn west towards the road. Removal of the structure will require grading to minimize erosion concerns (Figure 4).



Figure 4- Retaining Wall Along N Boundary

Sewer - The survey did not identify the sewer cleanout for the house.

FIELD INSPECTION REPORT

1226 Glenhaven Drive

Power - The power is still in place.

Water - City water meter located on the W boundary of the property and was marked on the survey.

FIELD INSPECTION REPORT

1238 Glenhaven Drive



33.97331°N -80.98121°E

Figure 1 1238 Glenhaven Drive

Landmark performed a field inspection (8/2/2018) of the 1238 property with the ALTA survey information (Figure 1). The inspection was to identify possible issues associated with future plans to demolish the structure(s) and create green space in accordance with FEMA CDBG-DR requirements. Specific notes and photographs for identified issues are provided.

Notes:

Tree 1 - Large Pine (20 to 24 inch) located at the NE corner of the property has buckled the driveway. Removal of the structure may cause potential issues with the roots under the driveway (Figure 2).



Figure 2 - Pine tree at NE Corner of Property

FIELD INSPECTION REPORT

1238 Glenhaven Drive

Fencing - The backyard of the property has 4-foot chain link fencing. The north, south, and east fence sections are ajoined by adjacent property fences. The chain link fence appears to be on the property. The 6-foot wood fence on the north boundary is in question (Figure 3). The properties will require some detemination and may require notification to the adjacent property owners.



Figure 3 Fencing Issues NE Corner of House

Drainage - Removal of the structure will require grading to minimize erosion concerns.

Sewer - The survey identified the sewer cleanout at the SW corner of the house.

Power - The power is still in place.

Water - City water meter located on the W boundary of the property and was marked on the survey.